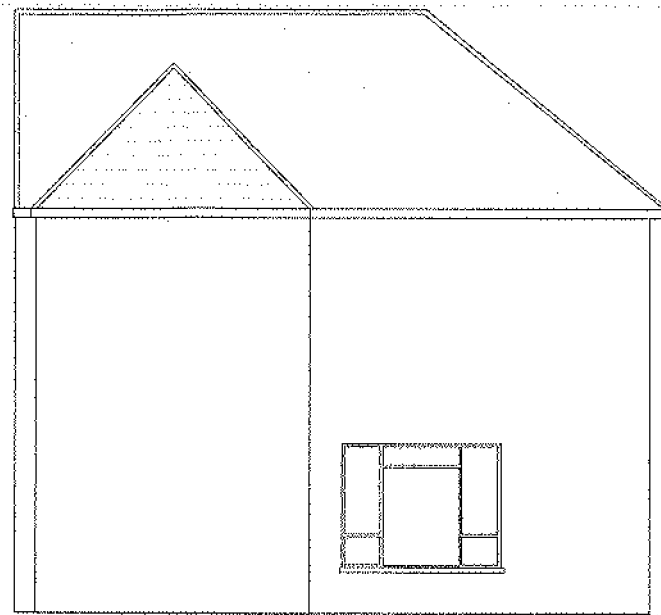
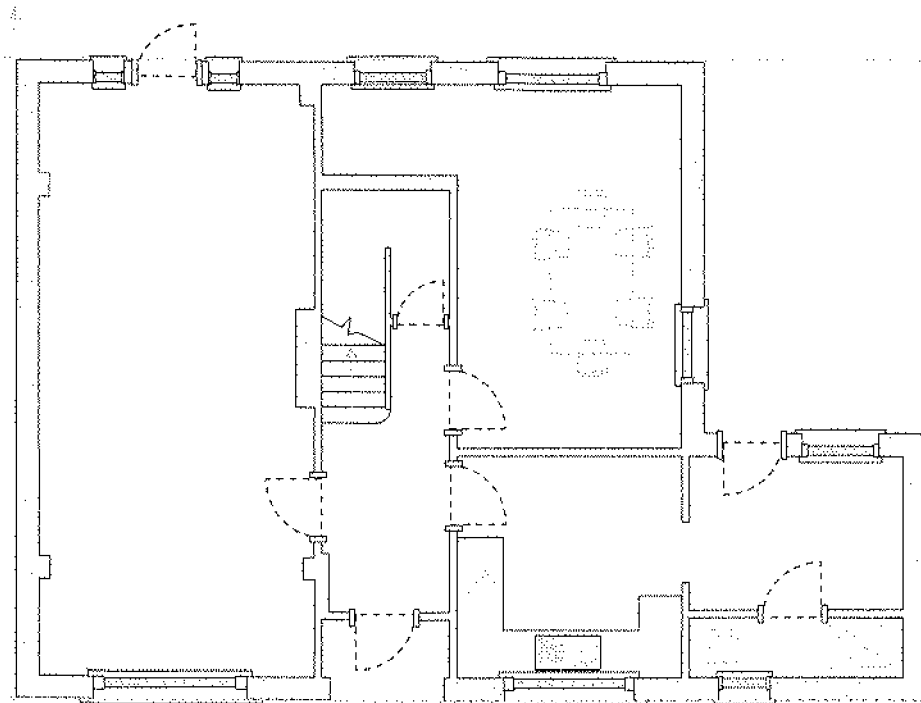




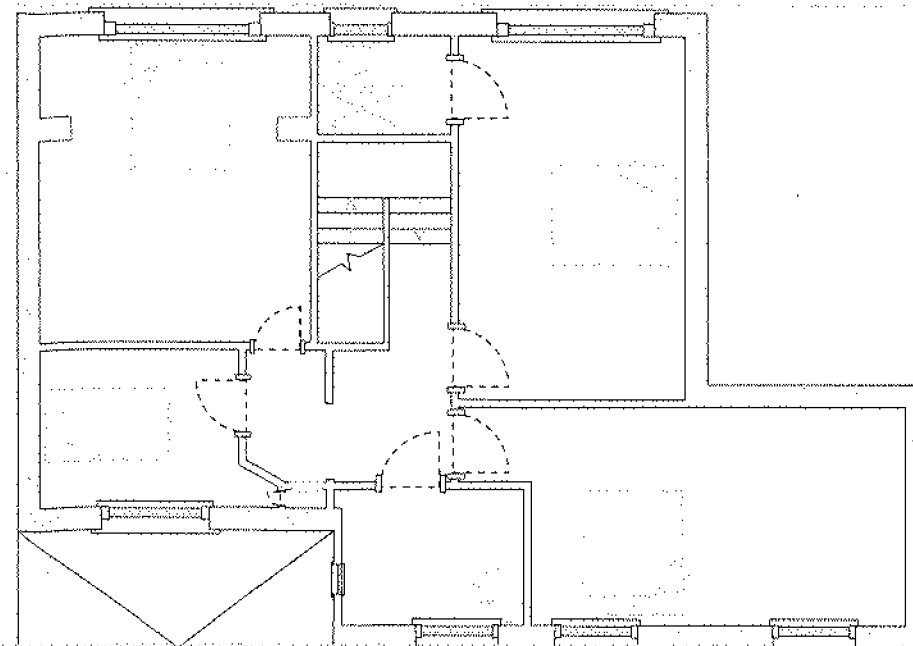
**Existing Rear Elevation**  
Scale 1:100



**Existing Side Elevation**  
Scale 1:100



**Existing Ground Floor Plan**  
Scale 1:100



**Existing First Floor Plan**  
Scale 1:100

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**Project:** Proposed 2 Storey Extension, 24 Le Marchant Road GU16 8RW

**Ref:**  
H02JUL11-1

**Title:** Existing Plans & Elevations

**Date Drawn:** 13th July 2011

**Drawn By:** PBM

**Size:** A3

**Stage:**

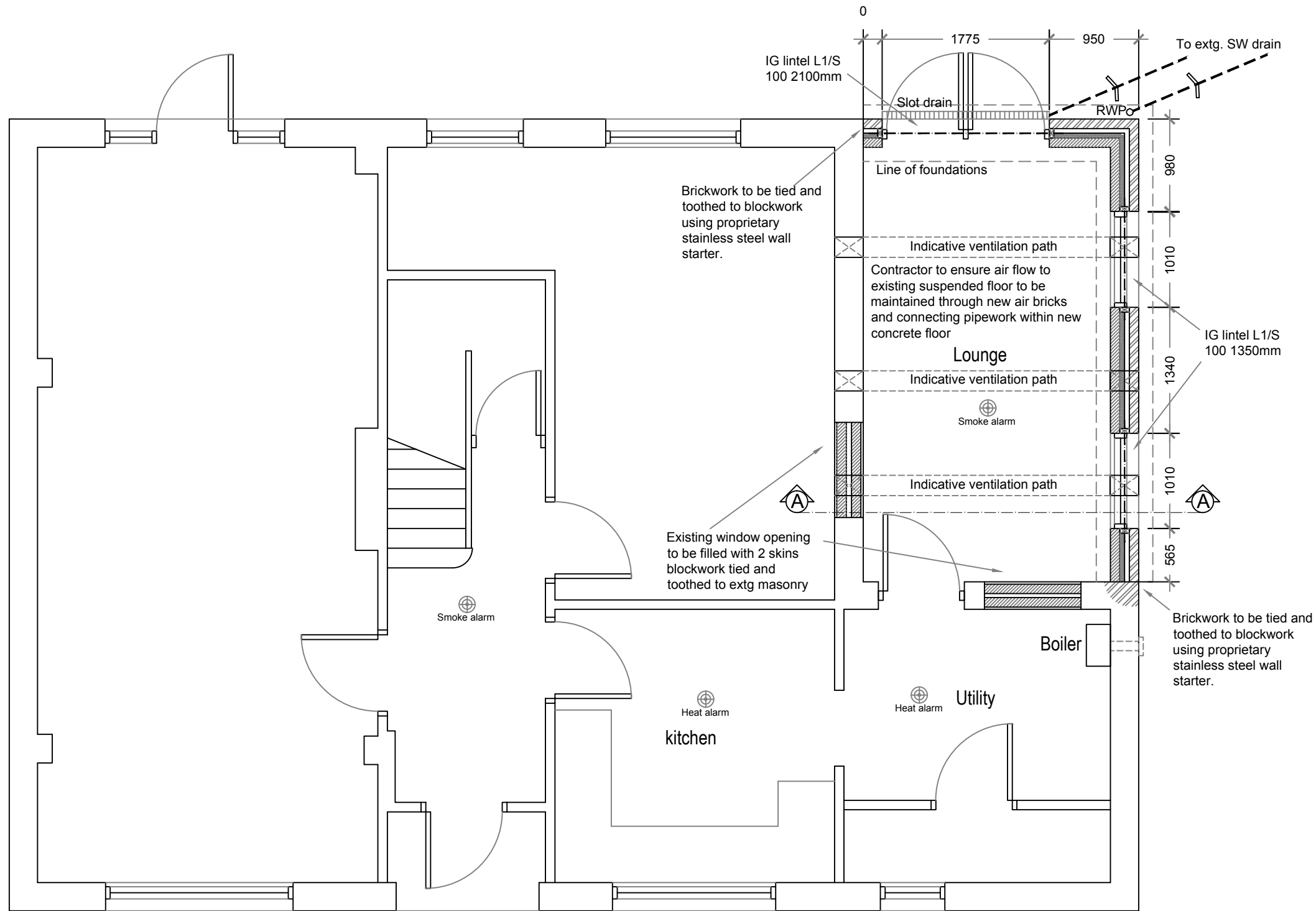
**BUILDING CONTROL**

Revisions:



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**Proposed Ground Floor Plan**  
Scale 1:50

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**Project:** Proposed 2 Storey Extension, 24 Le Marchant Road GU16 8RW

**Ref:** H02JUL11-2

**Title:** Proposed Ground Floor Plan

**Date Drawn:** 13th July 2011

**Drawn By:** PBM

**Size:** A3

**Stage:**

**BUILDING CONTROL**

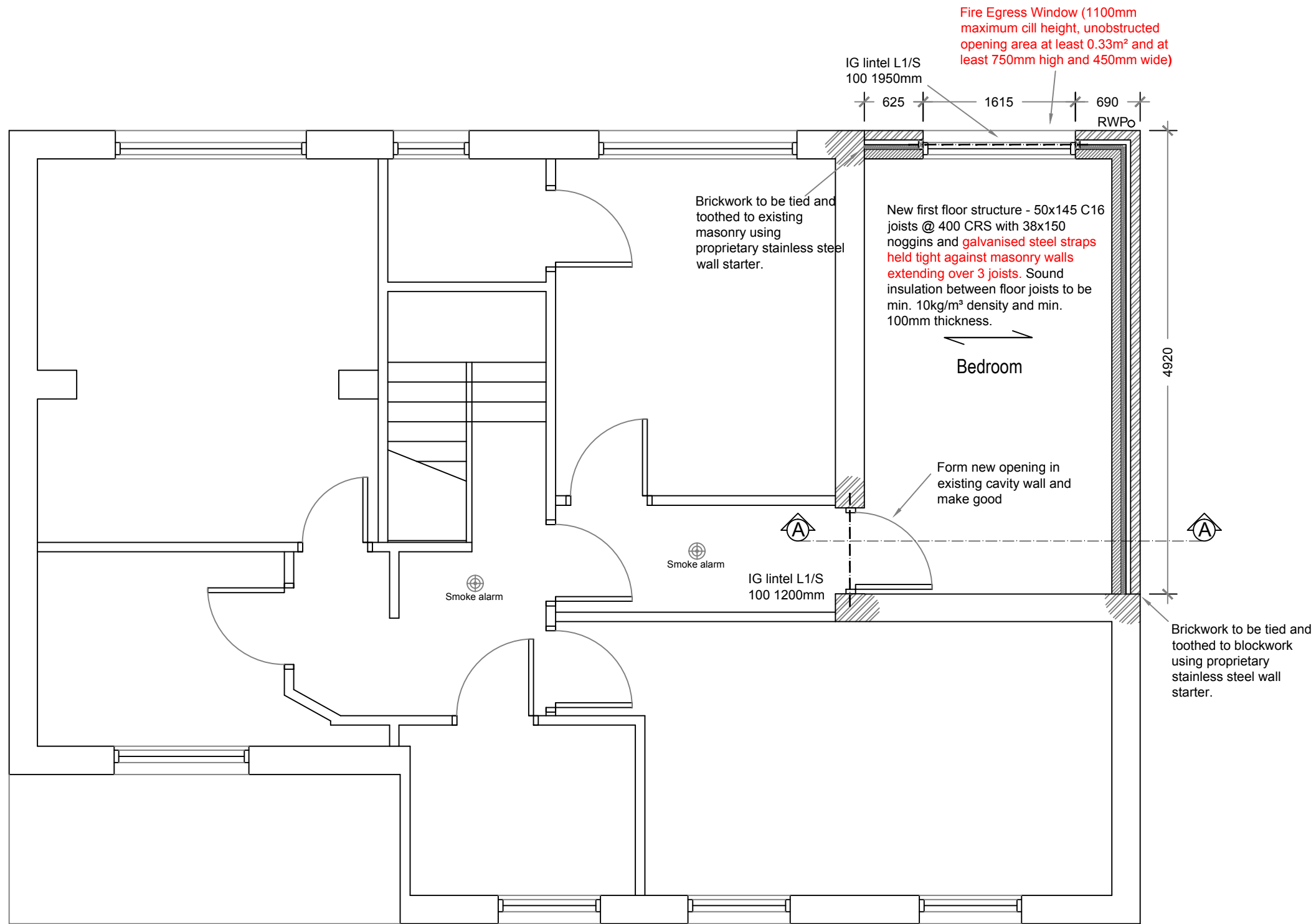
**A: Smoke and heat alarms added**  
PBM 01/09/2011

Revisions:



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**Proposed First Floor Plan**  
Scale 1:50

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**Project:** Proposed 2 Storey Extension, 24 Le Marchant Road GU16 8RW

**Ref:** H02JUL11-3

**Title:** Proposed First Floor Plan

**Date Drawn:** 13th July 2011

**Drawn By:** PBM

**Size:** A3

**Stage:**

**BUILDING CONTROL**

**A: Fire egress window note added; floor strapping note highlighted; smoke alarms added. PBM 01092011**

**Revisions:**



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**Proposed Rear Elevation**  
Scale 1:50

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**Project:** Proposed 2 Storey Extension, 24 Le  
Marchant Road GU16 8RW

**Ref:**  
H02JUL11-4

**Title:** Proposed Rear Elevation

**Date Drawn:** 13th July 2011

**Drawn By:** PBM

**Size:** A3

**Stage:**

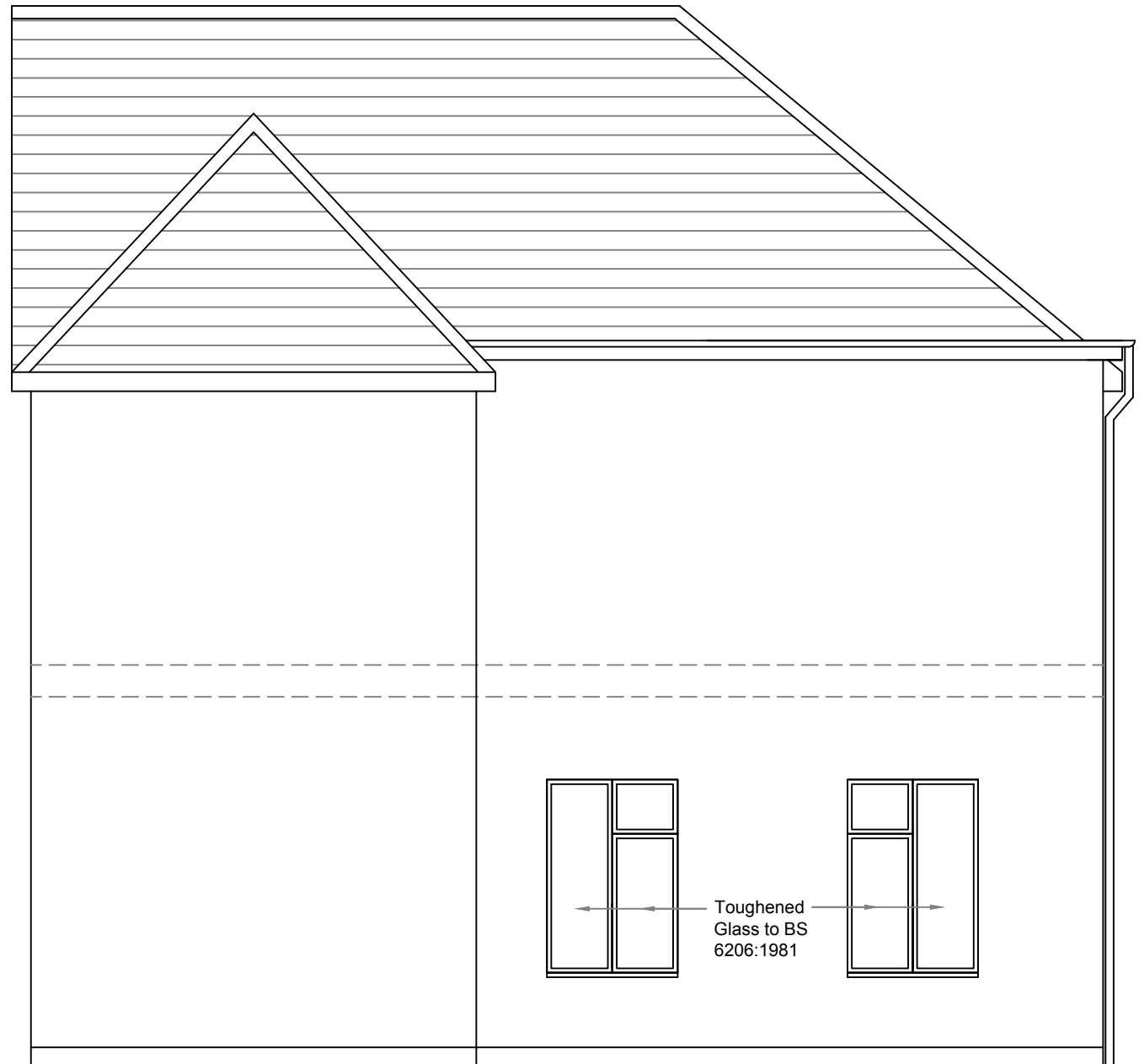
**BUILDING CONTROL**

Revisions:



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**Proposed Side Elevation**  
Scale 1:50

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**Project:** Proposed 2 Storey Extension, 24 Le  
Marchant Road GU16 8RW

**Ref:**  
H02JUL11-5

**Title:** Proposed Side Elevation

**Date Drawn:** 13th July 2011

**Drawn By:** PBM

**Size:** A3

**Stage:**

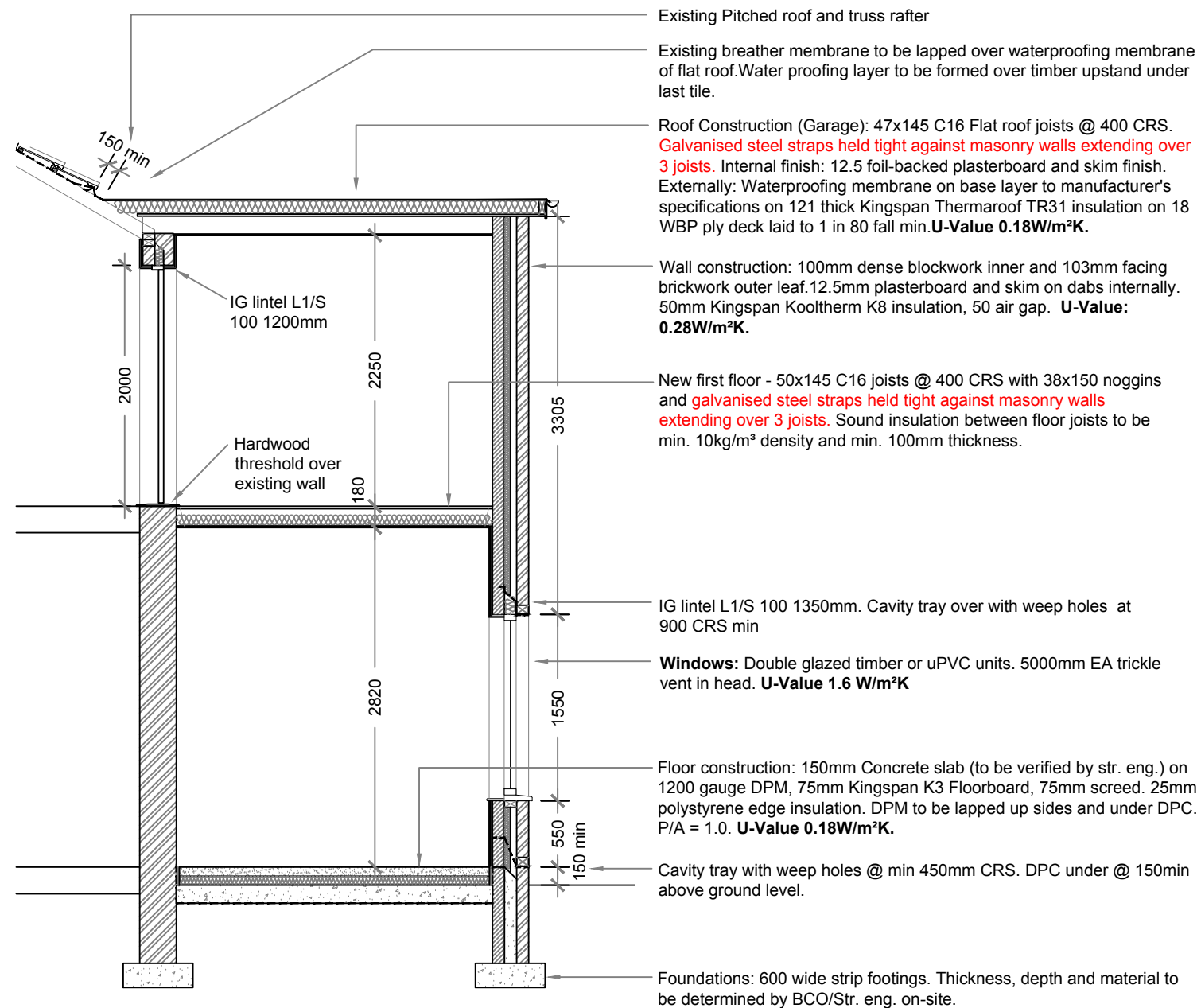
**BUILDING CONTROL**

Revisions:



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**Proposed Section A-A**  
Scale 1:50

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**A: Floor strapping note highlighted; roof strapping note added**  
PBM 01/09/2011

**Revisions:**

**Project:** Proposed 2 Storey Extension, 24 Le Marchant Road GU16 8RW

**Ref:**  
H02JUL11-6

**Title:** Proposed Section A-A

**Date Drawn:** 13th July 2011

**Drawn By:** PBM

**Size:** A3

**Stage:**

**BUILDING CONTROL**



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1) GENERAL BUILDING REGULATION NOTES

- a) All works to be in accordance with Building Regulations 2010 amendments, current editions and amendments as applicable, and to the satisfaction of the Local Authority Building Inspector.
- b) All works within the contract and by the contractor must be carried out in such a way that all requirements under the Health and Safety at Work Act are satisfied and maintained.
- c) All works by the Contractor must be carried out in compliance with the requirements of all British Standards, Codes of Practice etc, and with the requirements of all relevant and current Statutory Authority regulations.
- d) All structural details and calculations to be submitted by the Consultant Structural Engineers prior to start on site and, upgraded as necessary as works proceed, to suit/ take into account any unexpected conditions or anomalies.
- e) The contractor must ensure, and will be held responsible for, the stability of the building structure at all stages of the contract.

2) APPROVED DOCUMENT A  
STRUCTURE 2004 EDITION.

- a) All structural details and calculations to be designed by the Consulting Structural Engineer to the relevant Codes of Practice. Calculations to be submitted for approval to the Local Authority.
- b) 600 x 300mm thick concrete strip foundation to all cavity walls. All foundations to be mass concrete prescribed mix grade C10P strip footing minimum 1m deep below adjacent final finished ground level. Foundation base to be on bearing strata types I-IV as table 10 of Approved Document A of Building Regulations 2010. For ground types V-VII as table 10 or where deleterious matter is present, a site investigation is to be undertaken. Foundations will be required to be designed by a Structural Engineer and approved by the Local Authority prior to continuing construction. Clay bearing strata to be kept free of water. Softened or disturbed clay to be removed from excavation immediately prior to concreting. Blockwork from top of foundation to 150mm. below finished ground level to external skin and up to dpc. level to internal skin to be in min. 7.0 N/mm<sup>2</sup>. concrete block cavity wall construction with cavity filled with lean mix concrete up to 150mm. below lowest dpc. level. Alternatively an approved type trenchfill block of min. 4.0 N/mm<sup>2</sup>. can be used from top of foundation up to 150mm. below level of proposed external finished ground. Width of cavity wall and trenchfill block to suit wall to be built over. Mortar below dpc. level is to be 1:3 cement/sand. Precast concrete lintols are to be provided above drains and services where they pass through walls. New foundations to be connected up to any adjacent existing foundation and also to be taken down to below invert level of any adjacent drainage runs. Back filling to trenches & excavations to be laid in 150mm well compacted layers using clean quarry scalplings. Backfill to be finished with 150mm min clean graded topsoil ready for planting. If any substantial additional loadings are to be taken by existing foundations then they should be exposed and checked to adequacy. All foundations subject to site conditions and to satisfaction of the Local Authority Building Control Dept.
- c) First Floor Structure.  
50x145 C16 joists @ 400 CRS with 38x150 noggins and **galvanised steel straps held tight against masonry walls extending over 3 joists**. All to be verified by structural engineer.
- d) Roof Structure: 47x145 C16 Flat roof joists @ 400 CRS. **Galvanised steel straps held tight against masonry walls extending over 3 joists**. 18 WBP ply deck externally laid to 1 in 80 fall min.
- e) All masonry and brickwork to be in accordance with BS 5628 part 3, 2001. Wall ties to recieve minimum 62.5-75mm embedment set out at 450mm vertical and 900mm horizontal centres, staggered. Ties to be positioned maximum 225mm from masonry opening edges at minimum 225mm centres. All ties etc to be stainless steel safety ties, location and details to be submitted to the Local Authority for approval.
- f) Vertical and horizontal movement and construction joints in brickwork and blockwork, if required by Consulting Structural Engineer, to be in accordance with BRE Digest 123 and 178; BS 5628 part 3. Standard movement joints to be 10mm wide filled with non-absorbent closed cell polyethylene joint filler and pointed in 2 part polysulphide sealant.

3) APPROVED DOCUMENT B1  
FIRE SAFETY 2006 EDITION, EFFECTIVE APRIL 2007

- a) External walls with in 1000m of relevant boundary to be Class 0 or better.
- b) All internal wall lining national classification to be Class 1.
- c) Where a dwelling is extended smoke alarms should be provided and have a standby power supply. Fire detection and alarm system of grade B category LD3 to be installed and positioned in accordance with BS 5839-6: 2004. The occupant should recieve the manufacturers instructions concerning the operation and maintenance of the alarm system.
- d) All cavities are to be closed around doors and windows in external walls. All cavity walls are to be closed at top of wall with Lamatherm closers, or similar.

4) APPROVED DOCUMENT C  
SITE PREPARATION AND RESISTANCE TO MOISTURE 2004 EDITION

- a) Damp proof courses installed in external masonry wall construction, to generally be Visqueen Zedex a minimum of 150mm above outside ground level, with weep holes in walls at 900mm centres.
- b) Damp proof courses to be provided around all openings vertically and with trays horizontally with weep holes at 450 centres over openings.
- c) Code 4 lead flashings, to comply with all relevant British Standards and Codes of Practice, as detailed in the Lead Association handbook, to be installed at existing ground floor roof abutting new first floor walls.
- d) Any steelwork exposed within cavities to be either stainless steel or to be treated with high build bituminous paint to structural Engineers specification prior to being walled in.

5) APPROVED DOCUMENT D  
TOXIC SUBSTANCES 1992 EDITION, 2002 AMENDEMENT.

No requirements

6) APPROVED DOCUMENT E  
RESISTANCE TO THE PASSAGE OF SOUND 2003 EDITON, 2004 AMENDMENT

- a) Internal walls to comply with minimum accoustic requirements as set out in Approved Doc. E.
- b) Sound insulation between wall studs to be min. 10kg/m<sup>3</sup> density and min. 100mm thickness.
- c) All relevant required details to be Robust details, and to be issued to Building Control prior to commencement of any said works on site

7) APPROVED DOCUMENT F  
VENTILATION 2006 EDITION

- a) Window openings and trickle vents requirements to comply with BS 5925: 1991- Code of practice for ventilation principles & design for natural ventilation. 5000mm<sup>2</sup> EA for habitable rooms, 2500mm<sup>2</sup> EA for bathroom.
- b) Window areas to have an opening area equivalent to 1/20th of floor area.
- d) Ventilation system to comply with the "Domestic Ventilation Compliance Guide"

8) APPROVED DOCUMENT G  
HYGIENE 1992 EDITION 2000 AMENDMENT

- a) Water to all new fittings to be wholesome

9) APPROVED DOCUMENT H  
DRAINAGE AND WASTE DISPOSAL AMENDE 2002 EDITION

- a) All roof surface water drainage to be designed to cater for a flow capacity with a downfall intensity of 75mm per hour. New RWP to connect to new inspection chamber and flow to existing combined sewer.

10) APPROVED DOCUMENT J  
COMBUSTION APPLIANCE AND FUEL STORAGE SYSTEMS-2002 EDITION.

- a) All habitable rooms in first floor to receive adequately sized radiators. Radiators to be connected to existing heating system. Boiler to be re-sized if necessary for extra load. Heating system to be installed in accordance with the "Domestic Heating Compliance Guide"

11) APPROVED DOCUMENT K  
PROTECTION FROM FALLING COLLISION AND IMPACT 1998 EDITION. 2000 AMENDMENT

- a) No requirements

12) APPROVED DOCUMENT L1B  
CONSERVATION OF FUEL AND POWER 2010 EDITION.

- a) All windows and glazed screens to be clear double glazing and thermally broken frames. Glass and frame to give minimum 'U' Value 1.6W/m<sup>2</sup>K
- b) All masonry openings to have proprietary thermal closers to prevent any thermal bridging.

c) New Roof Construction.  
47x145 C16 Flat roof joists @ 400 CRS. Internal finish: 12.5 foil-backed plasterboard and skim finish. Externally: Waterproofing membrane on base layer to manufacturer's specifications on 121 thick Kingspan Thermaroof TR31 insulation on 18 WBP ply deck laid to 1 in 80 fall min. **U-Value 0.18W/m<sup>2</sup>K**.

d) New wall construction.  
100 dense block, 50 Kinspan K8 board, 50 cavity, 103 facing brickwork, 12.5mm pboard internally. **U-Value 0.28 W/m<sup>2</sup>K**

e) 3 out of every 4 lights to be low energy fittings.

13) APPROVED DOCUMENT M  
ACCESS AND FACILITIES FOR DISABLED PEOPLE 2004 EDITION.

- a) Main access to dwelling unaltered.

14) APPROVED DOCUMENT N  
GLAZING - SAFETY IN RELATION TO IMPACT, OPENING AND CLEANING 1998 EDITION. 2000 Amendment.

- a) Toughened Glass to BS 6206:1981 to rear patio doors and side glazing below 800mm above FFL.

15) APPROVED DOCUMENT P  
ELECTRICAL SAFETY-2006 EDITION

- a) Electrical installation to be carried out in accordance with BS 7671 2001, by competent electrician.
- b) Completed and signed certificates to be issue by the electrician on completion, and issued to Building Control.

ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE DOMESTIC BUILDING COMPLIANCE GUIDE.

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**A: Floor strapping note highlighted; roof strapping note added PBM 01/09/2011**

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**Project:** Proposed 2 Storey Extension, 24 Le Marchant Road GU16 8RW

**Ref:** H02JUL11-7

**Stage:**

**BUILDING CONTROL**

**Title:** Building Regulations Notes

**Date Drawn:** 13th July 2011

**Drawn By:** PBM

**Size:** A3